

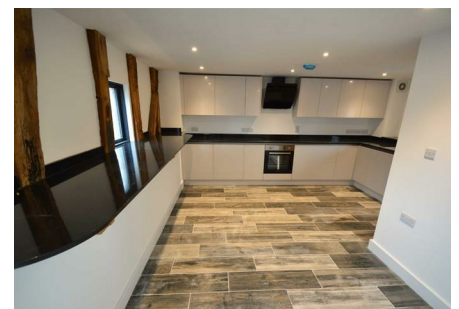
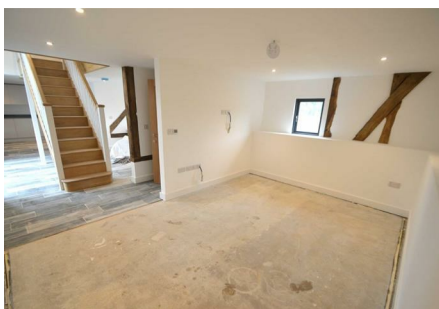


FOR SALE

Offers In The Region Of £425,000

Field View 2 Timber Barn, Crowsmoor Farm Barns Craven Arms Road, Aston On Clun, Shropshire, SY7 8EF

A recently converted semi-detached barn providing stylish and contemporary living accommodation, set with parking and large gardens, benefitting from a lovely outlook in this highly sought after rural locality.



MILEAGES: Craven Arms 2.1 miles, Ludlow 10.9 miles, Shrewsbury 22.5 miles (ALL DISTANCES ARE APPROXIMATE.)



- Recently converted
- Contemporary living
- Character features
- Attractively appointed
- Generous gardens
- Beautiful surroundings

DIRECTIONS

From Shrewsbury proceed south along the A49 passing through Dorrington and Church Stretton. On arrival at Craven Arms, continue past the supermarket on the right hand side and at the next roundabout take the right turn along the B4368 towards Clun. Continue for approximately 2 miles and the property will be seen on the left hand side.

SITUATION

The property is attractively situated in an area of beautiful countryside. Within relative close proximity, is the small market town of Craven Arms, which provides a rail station, range of shops, supermarket, petrol station and a number of local amenities. Approximately 11 miles away is the stunning historic town of Ludlow, which provides a selection of schools, high street shopping and a delightful range of restaurants and other social facilities together with a rail service.

DESCRIPTION

2 Timber Barn is a recently converted and beautifully appointed semi-detached barn conversion with character. The ground floor offers a contemporary living environment and comprises a feature fitted kitchen with numerous integral appliances together with granite work tops. The dining area has bi-folding doors out onto the large rear gardens which have a lovely aspect over paddocks and countryside beyond. Also to the ground floor is a spacious living room, guest WC and utility. To the first floor, there are three bedrooms, the principal of which benefits from an en-suite shower room, whilst the remaining two are served by the bathroom. Outside, there is a driveway parking with space for numerous vehicles. The gardens sit to the rear and offer a patio seating area with large adjoining flowing lawns providing a delightful outlook over the surrounding paddocks and countryside. It should be noted that the rear gardens offer excellent scope for all future purchasers to introduce their own designs.

ACCOMMODATION

OPEN PLAN KITCHEN DINING AREA

KITCHEN AREA

16'3" narrowing to 8'6" x 14'7" (4.95 narrowing to 2.6 x 4.45)
With tiled floor. Providing a modern range of eye and base level soft close units comprising cupboards and drawers, with extensive granite work surface area over, incorporating a one and a half bowl stainless steel sink unit and drainer with mixer tap, granite upstands and granite sill. Integral Neue electric oven and grill with 4-ring Neue induction hob unit over and filter hood. Integral Neue dishwasher. Integral fridge. Integral freezer. Attractive exposed timbers. Views down the gardens towards paddocks beyond. Granite breakfast bar eating area, ceiling downlighters, extractor fan and door to:

UTILITY

6'2" x 4'8" (1.87 x 1.43)

With fitted worktop, storage cupboards under and space and plumbing for washing machine. Additional full length storage cupboard, ceiling downlighters and extractor fan.



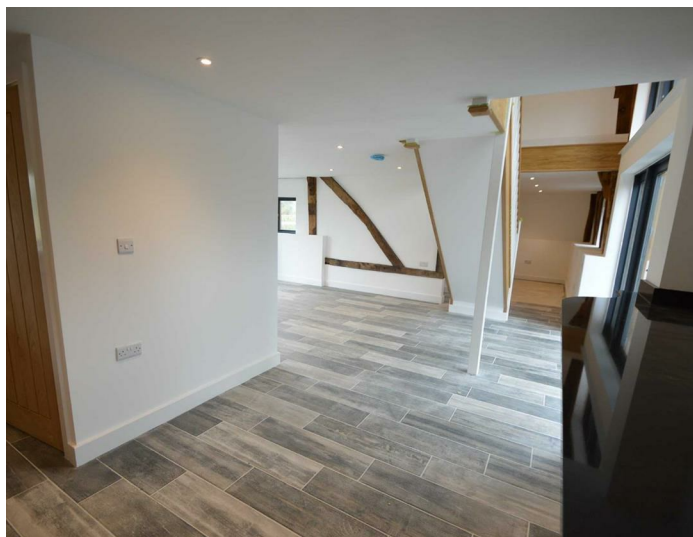
2 Reception
Room/s



3 Bedroom/s



2 Bath/Shower
Room/s



DINING AREA

20'6" max x 12'0" [6.24 max x 3.65]

With a wealth of attractive exposed timbers, ceiling downlighters, feature bi-folding doors leading out onto the rear sun terrace and gardens beyond.

LIVING ROOM

16'9" x 11'0" [5.1 x 3.35]

With exposed wall timbers, ceiling downlighters and attractive aspect over gardens.

GUEST WC

With tiled floor and providing a suite comprising low level WC, wash hand basin set in vanity unit with storage cupboards under, tiled splash, ceiling downlighter and extractor fan.

FIRST FLOOR LANDING

With a wealth of attractive exposed timbers and oak doors off and to:

BEDROOM 1

16'3" max x 14'9" narrowing to 9'9" [4.96 max x 4.5 narrowing to 2.98]

Providing a delightful range of exposed wall and ceiling timbers and door to:

EN-SUITE SHOWER ROOM

With tiled floor and providing a white suite comprising low level WC, wash hand basin set in vanity unit with storage cupboards under and mixer tap over, shower cubicle with mains fed shower, inset tiling and splash screen. Wall mounted heated towel rail. Beamed ceiling and extractor fan.

BEDROOM 2

14'8" x 9'2" [4.46 x 2.80]

Wealth of attractive exposed timbers, window overlooking gardens.

BEDROOM 3

14'8" x 6'2" [4.47 x 1.89]

With attractive exposed timbers to walls and ceilings, ceiling downlighters.

BATHROOM

With tiled floor and providing a suite comprising low level WC with hidden cistern, wash hand basin set in vanity unit with storage drawers under, tiled splash, panelled bath with mains fed shower over and splash screen, part tiled walls and tiled splash. Wall mounted heated towel rail, exposed timbers, extractor fan, eaves storage area and roof light with stunning views over fields.

OUTSIDE

The property offers parking for numerous vehicles.

THE GARDENS

The majority of the gardens are located to the rear and are a most appealing feature. Immediately adjacent to the rear of the barn is a flagged sun terrace with a stunning outlook over adjoining countryside and fields beyond. Adjoining the sun terrace is a large area laid to lawn. External cold water tap.

GENERAL REMARKS

FIXTURES AND FITTINGS

Only those items described in these particulars are included in the sale.

SERVICES

Mains water and electricity are understood to be connected. Oil fired central heating system, septic tank drainage. None of these services have been tested.

TENURE

Freehold. Purchasers must confirm via their solicitor.

COUNCIL TAX

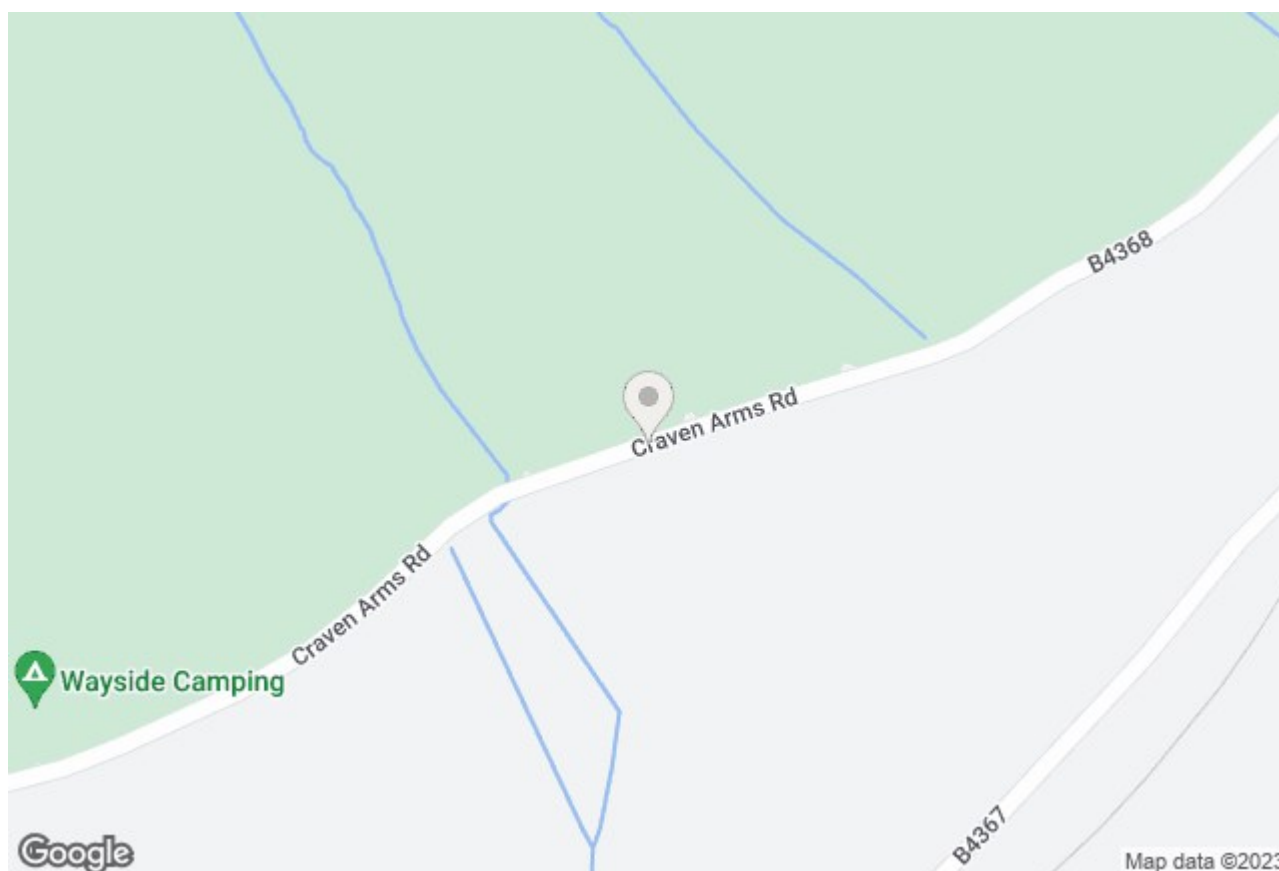
The Council Tax band is to be confirmed. Please confirm the council tax details via Shropshire Council on 0345 6789002 or visit www.gov.uk/council-tax-bands.

VIEWINGS

Halls, 2 Barker Street, Shrewsbury, Shropshire SY1 1QJ. Tel: 01743 236444. Email: shrewsbury@halls.gb.com

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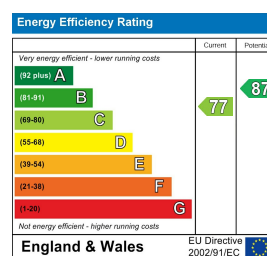
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who is authorised and regulated by the FCA. Details can be provided upon request. **Do you require a surveyor?** We are able to recommend a completely independent chartered surveyor. Details can be provided upon request.

Energy Performance Ratings



01743 236 444

Shrewsbury Sales

2 Barker Street, Shrewsbury, Shropshire, SY1 1QJ

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